



ACT

Government

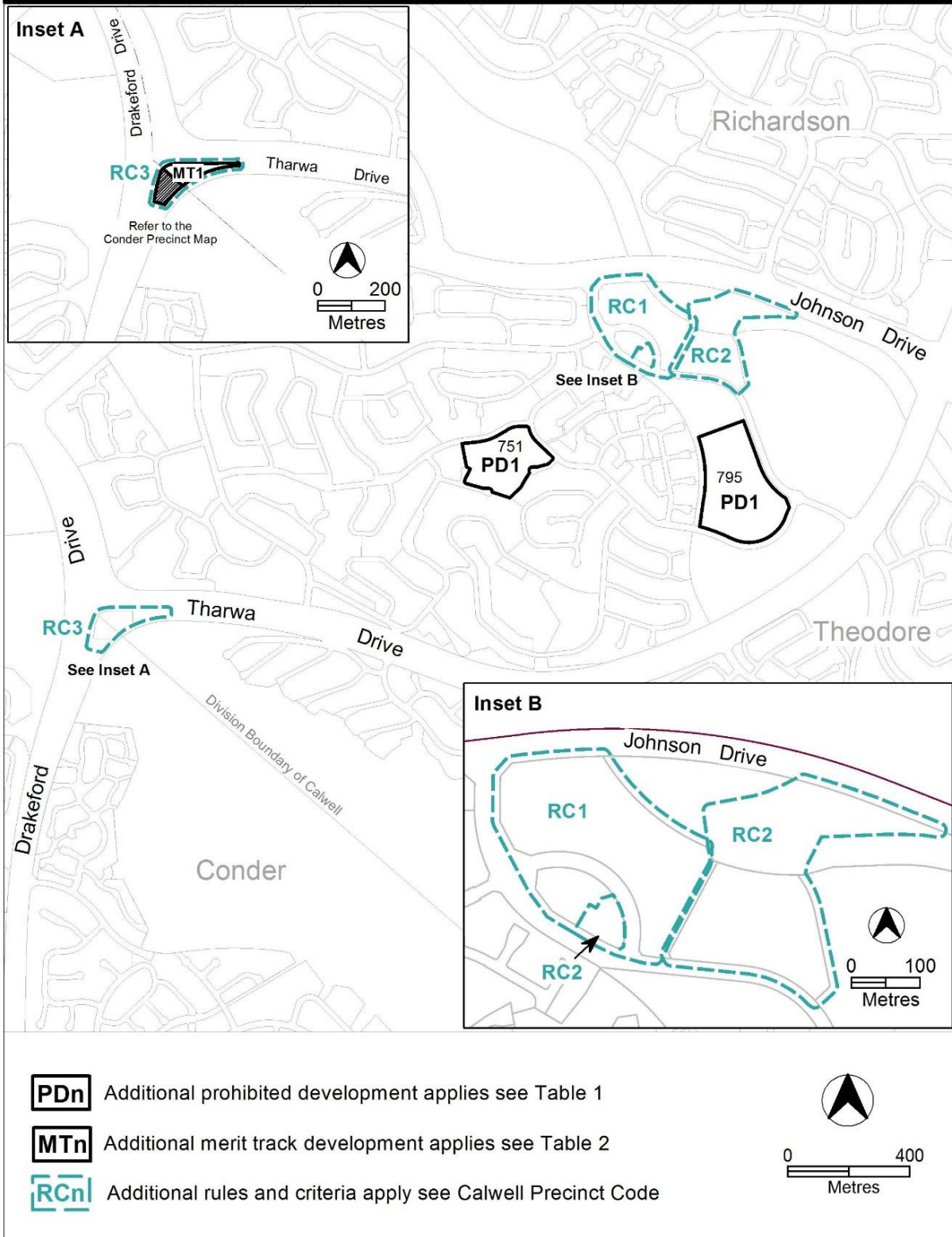
Environment and
Sustainable Development

Calwell Precinct Map and Code

includes
Calwell Group Centre

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Calwell Precinct Map



Assessment Tracks

The following tables identify the additional prohibited development and additional merit track development for blocks and parcels shown in the Calwell Precinct Map (identified as PDn or MTn). Development that is exempt from requiring development approval, other prohibited development and the minimum assessment track applicable to each development proposal is set out in the relevant zone development table.

The following tables constitute part of the relevant zone development table.

Table 1 – Additional prohibited development

Additional prohibited development		
Suburb precinct map label	Zone	Development
PD1	CFZ	<i>retirement village</i> <i>supportive housing</i>

Table 2 – Additional merit track development

Additional merit track development that may be approved subject to assessment		
Suburb precinct map label	Zone	Development
MT1	TSZ1	<i>emergency services facility</i>

Calwell Precinct Code

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Introduction

Name

The name of this code is **Calwell Precinct Code**.

Application

The code applies to the Division of Calwell.

Purpose

This code provides additional planning, design and environmental controls for specific areas or blocks and may also contain references to provisions in other codes.

In conjunction with other relevant codes it will be used by the *Authority* to assess development applications and offer guidance to intending applicants in designing development proposals and preparing development applications.

Structure

This code contains additional rules and/or criteria for particular blocks or parcels identified as areas RCn on the precinct map, to be read in conjunction with the relevant development code. It may also contain sub-parts.

Each element has one or more rules and, unless the respective rule is mandatory, each rule has an associated criterion. Rules provide quantitative, or definitive, controls. By contrast, criteria are chiefly qualitative in nature.

In some instances rules are mandatory. Such rules are accompanied by the words “This is a mandatory requirement. There is no applicable criterion.” Non-compliance with a mandatory rule will result in the refusal of the development application. Conversely, the words “There is no applicable rule” is found where a criterion only is applicable.

Code hierarchy

Under the *Planning and Development Act 2007*, where more than one type of code applies to a development, the order of precedence if there is inconsistency of provisions between codes is: precinct code, development code and general code.

If more than one precinct code applies to the site, the most recent precinct code takes precedence to the extent of any inconsistency.

Definitions

Defined terms, references to legislation and other documents are italicised.

Definitions of terms used in this code are listed in part 13 of the Territory Plan or, for terms applicable only to this code, associated with the respective rule.

Acronyms

ACTPLA	Planning and Land Authority within the ACT Environment and Sustainable Development Directorate
EPA	ACT Environment Protection Authority
ESA	ACT Emergency Services Agency
ESDD	ACT Environment and Sustainable Development Directorate
NCA	National Capital Authority
P&D Act	Planning and Development Act 2007
TAMS	ACT Territory and Municipal Services Directorate

Additional rules and criteria

This part applies to blocks and parcels identified in the Calwell Precinct Map (RCn). It should be read in conjunction with the relevant zone development code and related codes.

RC1 – Calwell Group Centre

This part applies to blocks and parcels identified in area RC1 shown on the Calwell Precinct Map. RC1 includes the Calwell Group Centre.

Element 1: Use

Rules	Criteria
1.1 Ground floor uses – CZ1	
<p>R1</p> <p>This rule applies to sites with frontages to primary active frontages shown in Figure 1. Only the following uses are permitted at the ground floor level:</p> <ul style="list-style-type: none"> a) <i>business agency</i> b) <i>club</i> c) <i>community activity centre</i> d) <i>drink establishment</i> e) <i>financial establishment</i> f) <i>hotel</i> g) <i>indoor entertainment facility</i> h) <i>indoor recreation facility</i> i) <i>public agency</i> j) <i>restaurant</i> k) <i>SHOP.</i> 	<p>This is a mandatory requirement. There is no applicable criterion.</p>
1.2 Residential use – ground floor	
<p>R2</p> <p>This rule applies to areas 'A' in Figure 1. RESIDENTIAL USE is permitted on the ground floor consistent with all of the following:</p> <ul style="list-style-type: none"> a) it is not located on a primary active frontage as identified on Figure 1 b) it complies with the Australian Standard <i>AS4299 – Adaptable housing</i> (class C) and the Access and Mobility General Code. 	<p>This is a mandatory requirement. There is no applicable criterion.</p>

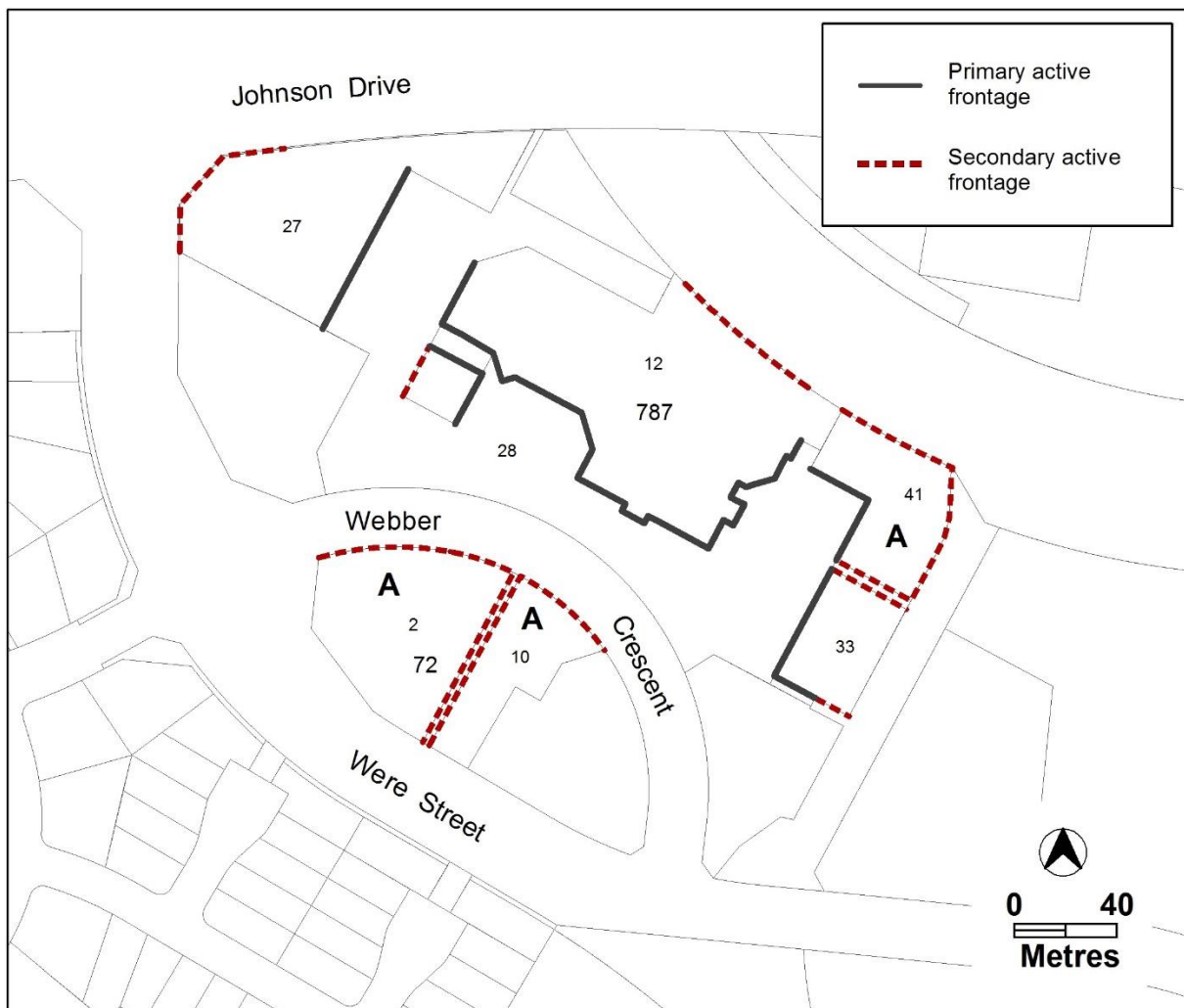


Figure 1: Active frontages, ground floor uses and commercial adaptability

Rules	Criteria
1.3 Development on nominated car parking areas	
<p>R3</p> <p>This rule applies to the area shaded grey shown in Figure 2.</p> <p>Development complies with all of the following:</p> <ul style="list-style-type: none"> a) the existing number of car parking spaces is retained on the site and made available for public use at all times b) provides car parking that is generated by the development on site in accordance with the <i>Parking and Vehicular Access General Code</i> in addition to the spaces required by item a). 	<p>C3</p> <p>Development meets all of the following:</p> <ul style="list-style-type: none"> a) in accordance with the Parking and Vehicular Access General Code, there is enough car parking for the needs of the centre as a whole b) the development does not adversely affect the overall function of the centre in terms of economic, social, traffic and parking and urban design impacts.

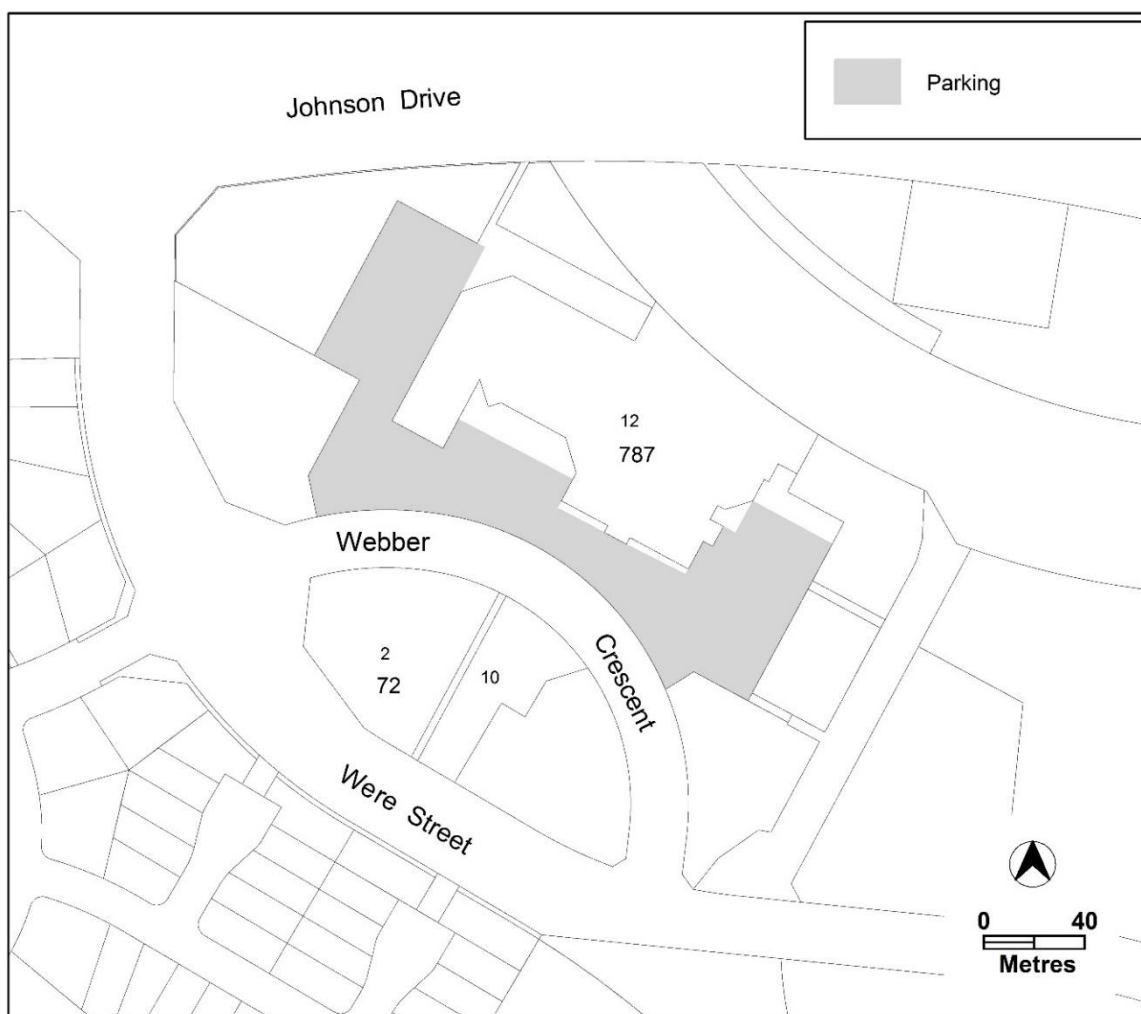


Figure 2: car parking

Element 2: Buildings

Rules	Criteria
2.1 Building heights	
<p>R4</p> <p>The maximum <i>height of buildings</i> is 2 storeys except areas A and B in Figure 3.</p> <p>Plant room set back a minimum of 3m from the building facade of the floor immediately below is not included in the number of <i>storeys</i>.</p>	<p>This is a mandatory requirement. There is no applicable criterion.</p>
2.2 Building heights	
<p>R5</p> <p>This rule applies to areas A and B in Figure 3.</p> <p>The maximum <i>height of building</i> in areas A and B is 2 storeys.</p>	<p>C5</p> <p>The maximum <i>height of building</i> in areas A and B may be increased to 4 storeys where:</p> <ul style="list-style-type: none"> a) <i>development</i> maintains reasonable solar access on the surrounding publicly accessible areas. b) area A achieves all of the following: <ul style="list-style-type: none"> i) is contained within <i>block 41 section 787 Calwell</i> ii) is measured from the north western most boundary of <i>block 41</i> iii) is a maximum of 26 metres wide. c) area B achieves all of the following: <ul style="list-style-type: none"> i) is contained within <i>block 12 section 787 Calwell</i> ii) is measured 10.5metres from the western boundary of area A iii) is a maximum of 22 metres wide iv) is a maximum of 60 metres long.

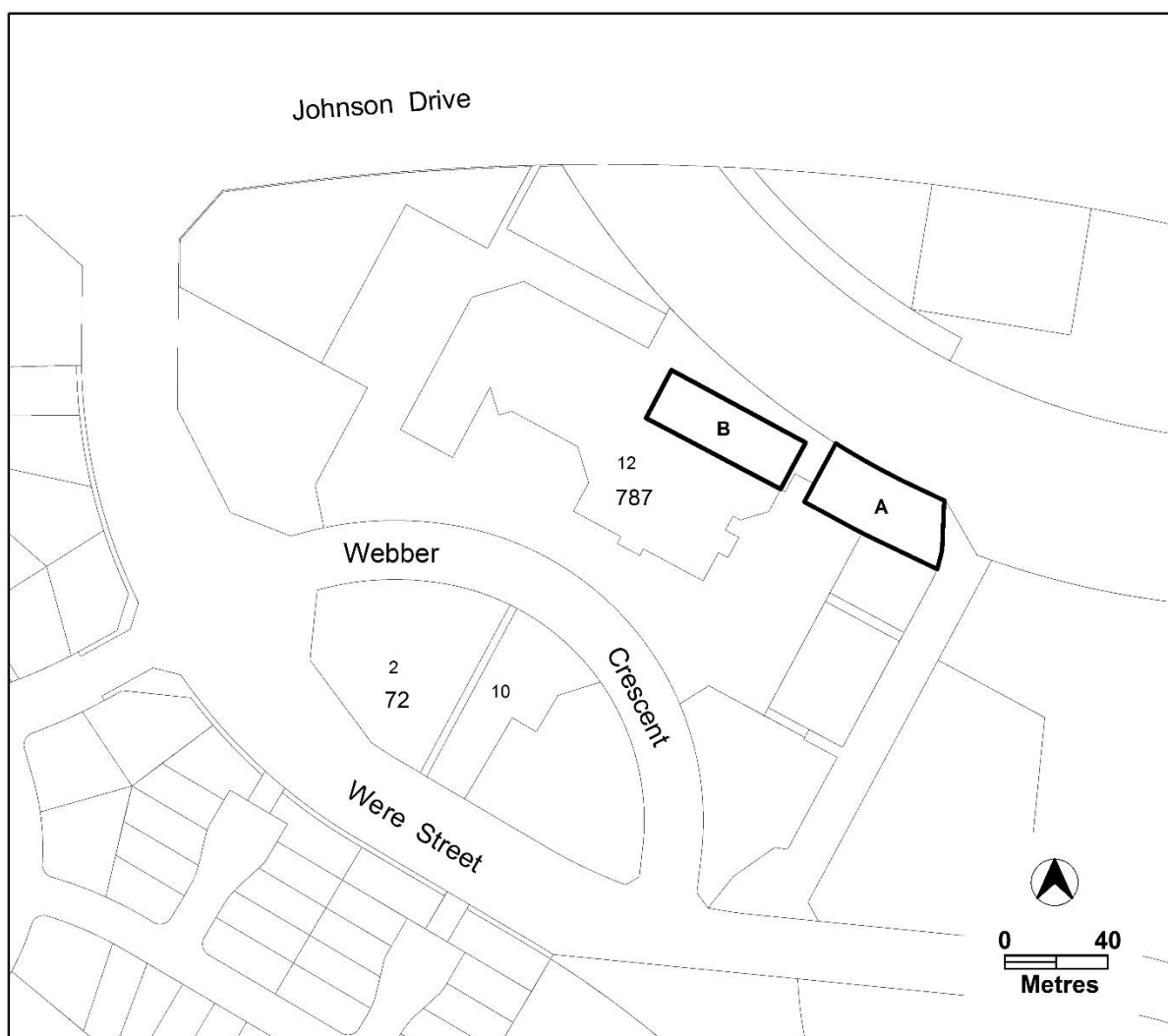


Figure 3: building heights

Rules	Criteria
2.3 Building design	
<p>R6</p> <p>This rule applies to <i>development</i> along primary and secondary active frontages shown in Figure 1.</p> <p>The minimum floor to ceiling height at the ground floor level is 3.6m.</p>	<p>C6</p> <p>The ground floor level of buildings is adaptable for commercial uses.</p>
<p>There is no applicable rule.</p>	<p>C7</p> <p>Building design achieves all of the following:</p> <ul style="list-style-type: none"> a) entrances to common areas for residential use provide strong visual connection to the street and ensure a high level of surveillance. b) driveways and pedestrian entrances to the site are visible from the <i>block</i> boundary c) west-facing facades incorporate sun shading into building designs d) car parking does not front onto main pedestrian routes and streets at ground floor, and e) service access does not adversely impact on or limit active frontages and/or public places.
2.4 Plot ratio	
<p>There is no applicable rule.</p>	<p>C8</p> <p><i>Plot ratio</i> achieves consistency with the <i>desired character</i>.</p>
2.5 Setbacks	
<p>There is no applicable rule.</p>	<p>C9</p> <p>This criterion applies to <i>development</i> on the southern block boundary where it adjoins at least one of the following:</p> <ul style="list-style-type: none"> a) public spaces identified on Figure 4 or b) the proposed and existing pedestrian access paths identified in Figure 4 that are located north of Webber Crescent. <p>Building elements above the first floor are setback from the southern block boundary to retain reasonable solar access to public spaces and pedestrian access paths.</p>

Rules	Criteria
2.6 Solar access	
<p>R10</p> <p><i>Development</i> retains a minimum 3 hours solar access to the main daytime living areas and principal <i>private open space</i> of <i>dwellings</i> and <i>habitable rooms</i> on adjoining <i>blocks</i> between the hours of 9am and 3pm on the winter solstice (21 June).</p>	<p>C10</p> <p><i>Development</i> retains reasonable solar access to <i>dwellings</i> and <i>habitable rooms</i> on adjoining <i>blocks</i> and their associated principal area of <i>private open space</i>.</p>

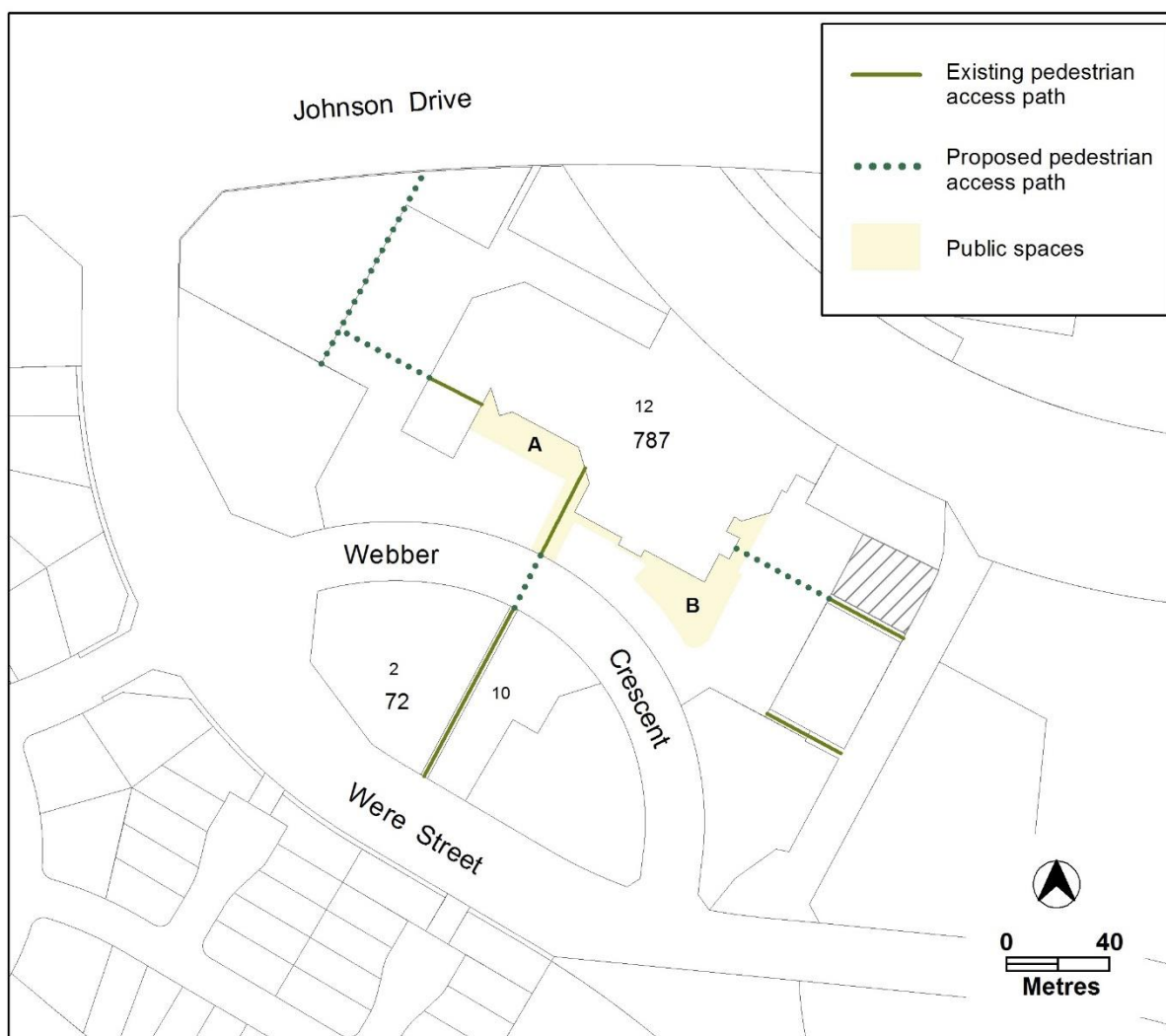


Figure 4: public spaces and pedestrian paths

Rules	Criteria
2.7 Public spaces	
<p>R11</p> <p>This rule applies to the public spaces shown in Figure 4.</p> <p>Public spaces are provided and comply with all of the following:</p> <ul style="list-style-type: none"> a) area A on Figure 4 has a minimum area of 540m² b) area B on Figure 4 has a minimum area of 800m² c) are connected to each other d) are accessible by existing and proposed pedestrian paths e) have no buildings or structures located within the area (excluding basements) f) are paved and landscaped. 	<p>C11</p> <p>Public spaces are provided and comply with all of the following:</p> <ul style="list-style-type: none"> a) are located generally in accordance with Figure 4 b) are of a scale and dimensions that provide usable open spaces c) are publicly accessible d) are paved and landscaped.
2.8 Pedestrian connections – section 787	
<p>R12</p> <p>This rule applies to the proposed pedestrian access paths shown in Figure 4.</p> <p>A pedestrian connection is provided that complies with all of the following:</p> <ul style="list-style-type: none"> a) a minimum unobstructed width of 6m b) a minimum extent of 30% glazing at the ground floor measured along the length of the pedestrian connection, and c) access to ground floor commercial tenancies adjoining the pedestrian connection d) the pedestrian access path remains unenclosed and publicly accessible at all times. 	<p>C12</p> <p>Pedestrian connections are provided generally in accordance with Figure 4 and achieve all of the following:</p> <ul style="list-style-type: none"> a) reasonable public access b) views into and out of adjoining commercial premises and c) clearly identifiable entrances.

Rules	Criteria
<p>R13</p> <p>This rule applies to development in the hatched area in Figure 4.</p> <p>Development incorporates an extension to the existing public pedestrian path onto block 41 section 787, shown in Figure 4, by providing a pedestrian path along the entire length of the southern boundary that complies with all of the following:</p> <ul style="list-style-type: none"> a) Has a total minimum width of 6m when combined with the existing public pathway b) is finished at the level of the pedestrian path and with matching materials and c) remains unobstructed and publicly accessible at all times. 	<p>This is a mandatory requirement. There is no applicable criterion.</p>
<p>2.9 Active frontages</p>	
<p>R14</p> <p>For new buildings located along primary active frontage areas identified in Figure 1, frontages and building design comply with all of the following:</p> <ul style="list-style-type: none"> a) buildings incorporate clear display windows and/or shop fronts at the ground floor level b) buildings incorporate direct pedestrian access at grade with the verge level for access and egress for persons with disabilities c) any small areas of walls without windows contain displays, showcases and/or public art, with a maximum of 30% blank frontage per tenancy d) open structured car parks and/or loading docks are not located along the frontage. 	<p>This is a mandatory requirement. There is no applicable criterion.</p>

Rules	Criteria
<p>There is no applicable rule.</p>	<p>C15</p> <p>For buildings located along secondary active frontage areas identified in Figure 1, frontages and building design complies with all of the following:</p> <ul style="list-style-type: none"> a) commercial buildings incorporate clear display windows and shop fronts at the ground floor level b) buildings incorporate direct pedestrian access at grade with the verge level for access and egress for persons with disabilities c) building facades are not dominated by extensive lengths of blank facades, open structured carpark, loading docks, substations or other service infrastructure d) residential development of 2 storeys or more incorporates balconies and windows to habitable rooms addressing the public realm.

Rules	Criteria
2.10 Awnings	
<p>R16</p> <p>This rule applies to buildings fronting primary active frontage areas shown in Figure 1 except where the awning is contained wholly within a block.</p> <p>Awnings are provided along the length of the building frontage consistent with all of the following:</p> <ul style="list-style-type: none"> a) are a minimum height of 3m above finished pavement or ground level of the verge b) are integrated into the building design at the first floor level c) are a minimum of 3m in cantilever depth, except <ul style="list-style-type: none"> i) where opposing primary active frontages are 6m apart or less, awning depth may be reduced to ensure awnings are separated by 0.5m ii) where a reduction in awning depth is required to accommodate existing infrastructure and/or existing or replacement street trees. 	<p>C16</p> <p>Awnings provide continuous all weather pedestrian shelter and activity in a form compatible with existing awnings.</p>
<p>R17</p> <p>This rule applies to new buildings fronting the primary active frontage areas shown in Figure 1 where awnings are wholly contained within the block boundary.</p> <p>Awnings comply with all of the following:</p> <ul style="list-style-type: none"> a) a minimum height of 3m above the finished pavement or ground level b) a minimum of 3m depth c) integrated into the building design at the first floor level d) have posts at 3m intervals along the outside edge of the awning e) extend the full facade of the building. 	<p>C17</p> <p>Awnings provide continuous all weather pedestrian shelter and activity in a form compatible with existing awnings.</p>

RC2 – Calwell Community Facilities

This part applies to blocks and parcels identified in area RC2 shown on the Calwell Precinct Map.

Element 3: Built form

Rules	Criteria
3.1 Pedestrian connection – section 788	
<p>R18</p> <p>This rule applies to section 788 shown in Figure 5 where the active travel path is shown. Development retains the existing active travel path connecting the Calwell Group Centre to Johnson Drive.</p>	<p>C18</p> <p>Development that alters the existing active travel path complies with all of the following:</p> <ul style="list-style-type: none"> a) retains a publicly accessible path of travel connecting Calwell Group Centre and Johnson Drive with a minimum width of 3m b) is endorsed by Transport Canberra and City Services.
3.2 Active frontages	
<p>There is no applicable rule.</p>	<p>C19</p> <p>For buildings located along secondary active frontages shown in Figure 5, building design achieves all of the following:</p> <ul style="list-style-type: none"> a) where public building access is provided, it is direct pedestrian access at street level b) buildings, and associated areas of open space where provided, provide opportunities for views into and out of the building to adjoining public spaces c) building facades are not dominated by extensive lengths of blank facades, open structured car parks, loading docks, substations or other service infrastructure.

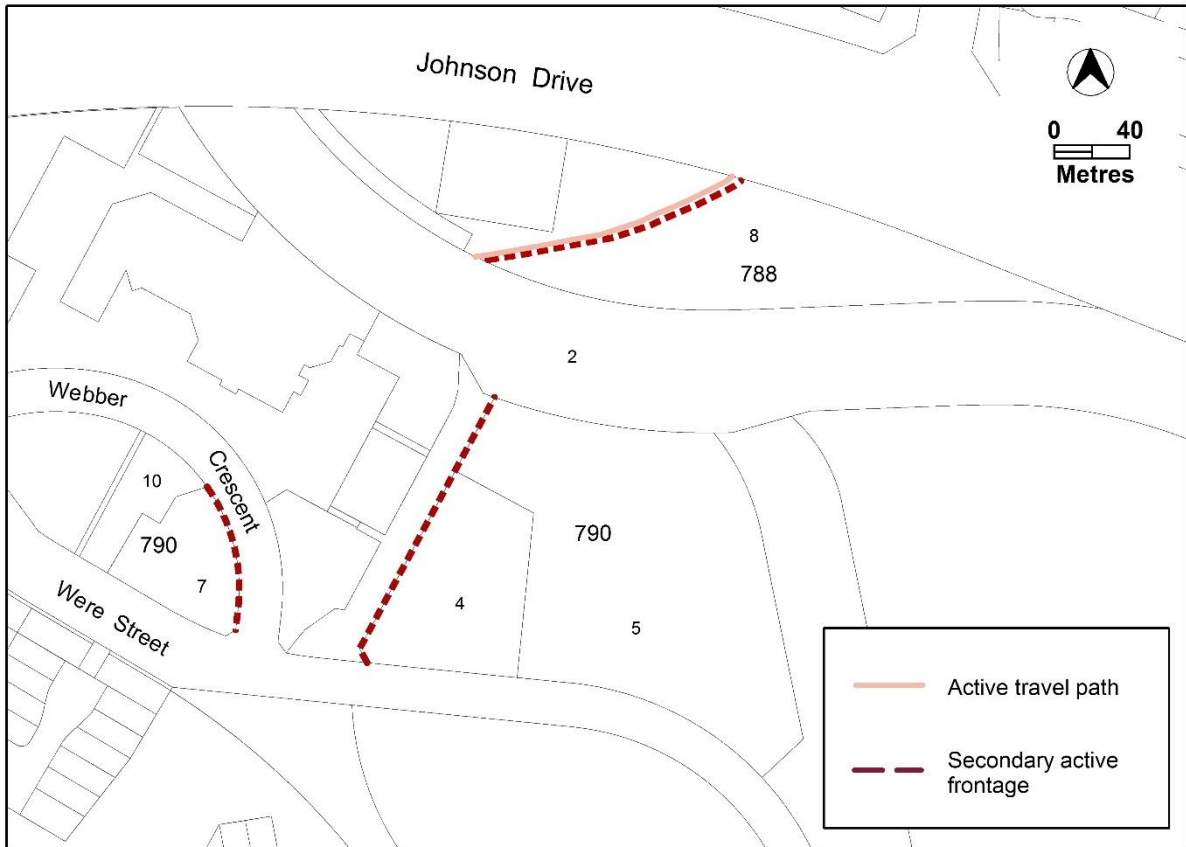


Figure 5: Secondary active frontages and pedestrian connection

RC3 – Calwell / Conder Fire Station

This part applies to blocks and parcels identified in area RC3 shown on the Calwell Precinct Map.

Element 4: Buildings

Rules	Criteria
4.1 Height	
R20 The maximum <i>height of building</i> , excluding rooftop plant and equipment, is 9m	This is a mandatory requirement. There is no applicable criterion.
4.2 Setback	
There is no applicable rule.	C21 Setback achieves adequate sight lines for vehicles and pedestrians, especially near the corners and intersections.
4.3 Screening	
R22 Structures and plant and equipment situated on the roof are not visible from the street frontage or unleased Territory land unless exempt under <i>Planning and Development Act 2007</i> . This includes water tanks, solar energy devices, evaporative cooling or air conditioning devices, a radio mast or aerial, or a satellite dish.	C22 Any structures and plant and equipment situated on or visible above the roofline does not significantly impact on the amenity of the streetscape or urban open space.
4.4 Environment	
R23 Removal of native vegetation on unleased land in Calwell and Conder adjoining the site is to be endorsed by the Conservator of Flora and Fauna. Note to applicant: In considering his or her decision, the Conservator has advised that plantings and regenerating saplings are to be retained, where possible, to maintain connectivity between Tuggeranong Hill Nature Reserve with areas in the Murrumbidgee River corridor reserve. Gaps of 100m or more in this connectivity are to be avoided.	This is a mandatory requirement. There is no applicable criterion.