RZ1 - Suburban Zone

Zone Objectives

- Create a wide range of affordable and sustainable housing choices within a low density residential environment to accommodate population growth and meet changing household and community needs
- Ensure development respects and contributes to the neighbourhood and landscape character of residential areas
- c) Provide opportunities for home based employment consistent with residential amenity
- d) Provide for a limited range of small-scale facilities to meet local needs consistent with residential amenity
- e) Promote energy efficiency and conservation and sustainable water use

RZ1 – Suburban Zone Development Table

EXEMPT DEVELOPMENT

Development approval not required, may need building approval On leased land, development must be authorised by a lease.

Single dwelling housing - new residential land, subject to Section 20 and Schedule 1 of the Planning and Development Regulation 2008.

Exempt Development identified in Section 20 and Schedule 1 of the Planning and Development Regulation 2008.

ASSESSABLE DEVELOPMENT

Development application required

On leased land, development must be authorised by a lease.

MINIMUM ASSESSMENT TRACK CODE

Development application required and assessed in the Code Track

Development	Code
Single dwelling housing (in areas not covered by Section 20 and Schedule 1 of the Planning and Development Regulation 2008)	Residential Zones - Single Dwelling Housing Development Code

MINIMUM ASSESSMENT TRACK MERIT

Development application required and assessed in the Merit Track, unless specified in Schedule 4 of the Planning and Development Act 2007 (as Impact Track) or listed as prohibited in the Site Specific section below

Development	Code
Ancillary use	
Boarding house	
Child care centre	
Community activity centre	
Consolidation	
Demolition	
Guest house	Decidential Zenes Multi Unit Heusing
Habitable suite	Residential Zones - Multi Unit Housing Development Code
Health facility	Development Code
Home business	
Minor road	
Minor use	
Multi-unit housing	
Parkland	
Relocatable unit	
Residential care accommodation	
Retirement Village	
Sign	Signs General Code
Single dwelling housing (where not exempt	Residential Zones - Single Dwelling Housing
development or code track assessable)	Development Code
Special dwelling	Residential Zones - Single Dwelling Housing
	Development Code
	Residential Zones - Multi Unit Housing
	Development Code
	Future Urban Area Residential Subdivision
Subdivision	Development Code
	Residential Zones Single Dwelling Housing Development Code
	Residential Zones - Multi Unit Housing
	Development Code
Supportive housing	Residential Zones - Multi Unit Housing
Temporary use	Development Code
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3.1 RZ1 – Suburban Zone Development Table

NI2008-27

Specific areas have additional developments that may be approved subject to assessment. These areas and the additional developments are listed below			
Site Identifier	Additional Development	Code	
Holt section 99 block 11 (part)	SHOP	Holt section 99 block 11 (Belconnen Golf Course) Concept Plan Residential Zones – Multi Unit Housing Development Code	
O'Malley (Figure 1)	Diplomatic residence	Residential Zones – Multi Unit Housing Development Code	
	Chancellery		
Turner Section 42 Block 1	COMMUNITY USE	Residential Zones – Multi Unit Housing Development Code	

MINIMUM ASSESSMENT TRACK IMPACT

Development application required and assessed in the Impact Track

- A development that is not an Exempt, Code Track or Merit Track development where the development is allowed under an existing lease, (see Section 134 of the Planning and Development Act 2007).
- 2. A development that would be permissible under the National Capital Plan but which is identified as prohibited development in this Table.
- 3. Development specified in Schedule 4 of the Planning and Development Act 2007 and not listed as prohibited development in this Table.
- 4. Development declared under Section 123 and Section 124 of the Planning and Development Act 2007 and not listed as prohibited development in this Table.
- 5. Any development not listed in this Table.

PROHIBITED DEVELOPMENT

A development application can not be made

Development listed below is prohibited development except where it is listed elsewhere in the

Development Table.

Agriculture MAJOR UTILITY INSTALLATION

Airport Mining industry
Animal care facility Mobile home park

Animal husbandry Motel

Aquatic recreation facility Municipal depot

Bulk landscape supplies Nature conservation area

Car park Offensive industry

Caretakers residence Office

Caravan park/camping ground Outdoor recreation facility
Cemetery Overnight camping area

Civic administration Pedestrian plaza
Club Place of assembly
Communications facility Place of worship

Community theatre Plant and equipment hire establishment

Commercial accommodation unit Plantation forestry
Corrections facility Playing field
Craft workshop Produce market
Cultural facility Public agency

Defence installation Public transport facility

Drink establishment Railway use

Drive-in cinema Recyclable materials collection

Educational establishment Recycling facility

Emergency services facility Religious associated use

Farm tourism Restaurant

Freight transport facility

Sand and gravel extraction

Funeral parlour

Scientific research establishment

3.1 RZ1 – Suburban Zone Development Table Effective: 18 December 2012

General industry Serviced apartment
Group or organised camp Service station

Hazardous industry SHOP

Hazardous waste facility Stock/sale yard

Hospital Store

Hotel Tourist facility
Incineration facility Tourist resort
Indoor entertainment facility Transport depot
Indoor recreation facility Vehicle sales
Industrial trades Veterinary hospital

Land fill site Warehouse

Land management facility Waste transfer station

Light industry Woodlot

Liquid fuel depot Zoological facility

Major road

Specific areas have additional developments that are prohibited. These areas and the additional

developments are listed below

Site Identifier Development

OTHER CODES

PRECINCT CODES

Where a proposal is within an area covered by one of the following Precinct Codes, that Code applies in addition to any specified Development Code:

Rural Villages Precinct Code

GENERAL CODES

The following General Codes may be called up by Development or Precinct Codes as relevant considerations in assessing a Development Application:

considerations in assessing a Development Application.		
Access and Mobility	Parking and Vehicular Access	
Bicycle Parking	Planning for Bushfire Risk Mitigation	
Crime Prevention Through Environmental Design	Residential Boundary Fences	
Home Business	Signs	
Community and Recreation Facilities Location Guidelines	Water Use and Catchment	
Communications Facilities and Associated Infrastructure	Water Ways: Water Sensitive Urban Design	

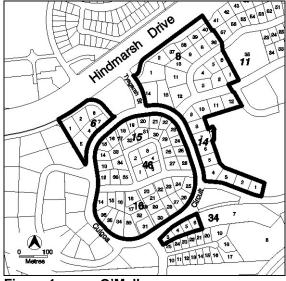


Figure 1 O'Malley